



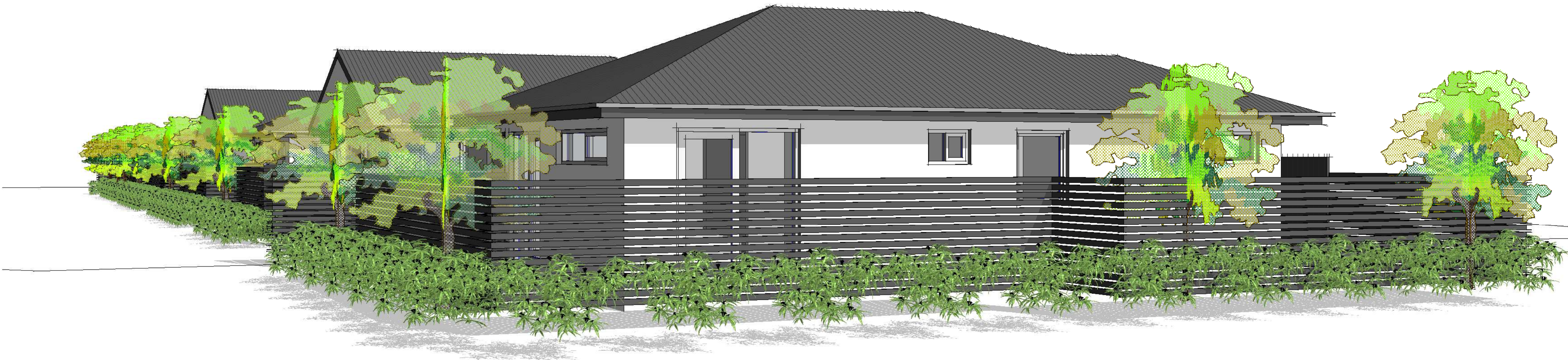
TOWN HOUSE DEVELOPMENT
26 LITHGOW STREET, GOULBURN, NSW

DA01.1	TITLE SHEET
DA02.1	SITE ANALYSIS PLAN
DA03.1	DEMOLITION PLAN
DA04.1	SITE PLAN
DA05.1	LANDSCAPE PLAN
DA06.1	GROUND FLOOR PLAN
DA07.1	ELEVATIONS
DA11.1	SECTIONS
DA12.1	ISO VIEWS
DA13.1	ISO VIEWS
DA16.1	ROOF PLAN
DA17.1	AREA PLANS
DA19.1	SEDIMENT & EROSION CONTROL PLAN

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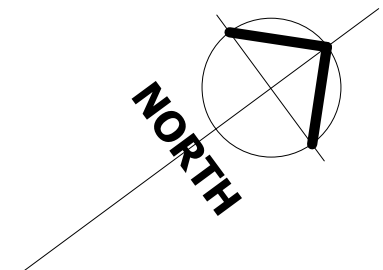
Assessor name: Jamie Bonnell
Accreditation No. 10056
Property Address: 26 Lithgow Street, GOULBURN NSW 2580
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- LEGEND
- view and aspect lines
 - noise sources
 - car headlight spillage
 - vehicular entry point
 - close-by neighbour windows

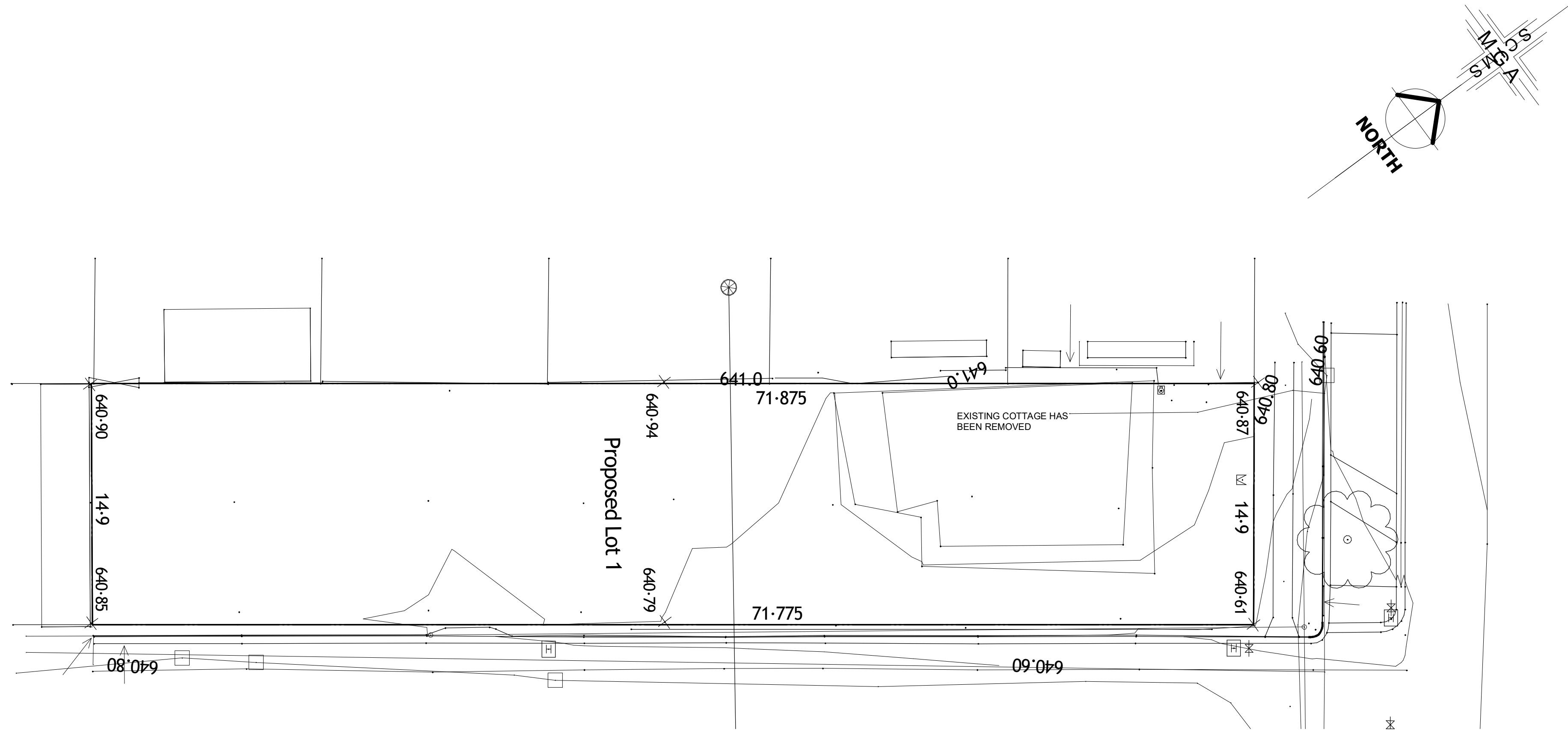


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AZIMUTH - MGA
CONTOUR INTERVAL - 0.2m
DATUM - AHD
REF - P885_DC_UPDATE

DETAIL & CONTOUR SURVEY
LOT 1, 2 & 3
DP 97295
SITE ADDRESS: 26 LITHGOW STREET
GOULBURN

3/31 CLINTON STREET
PO BOX 542
GOULBURN NSW 2580
4822 9966
FMS
goulburnpremise.com.au

1 SITE ANALYSIS PLAN
1 : 250



1 DEMOLITION PLAN
1 : 200

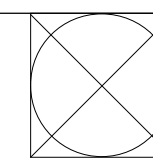


PROJECT: MULTI UNIT DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: DEMOLITION PLAN

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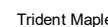
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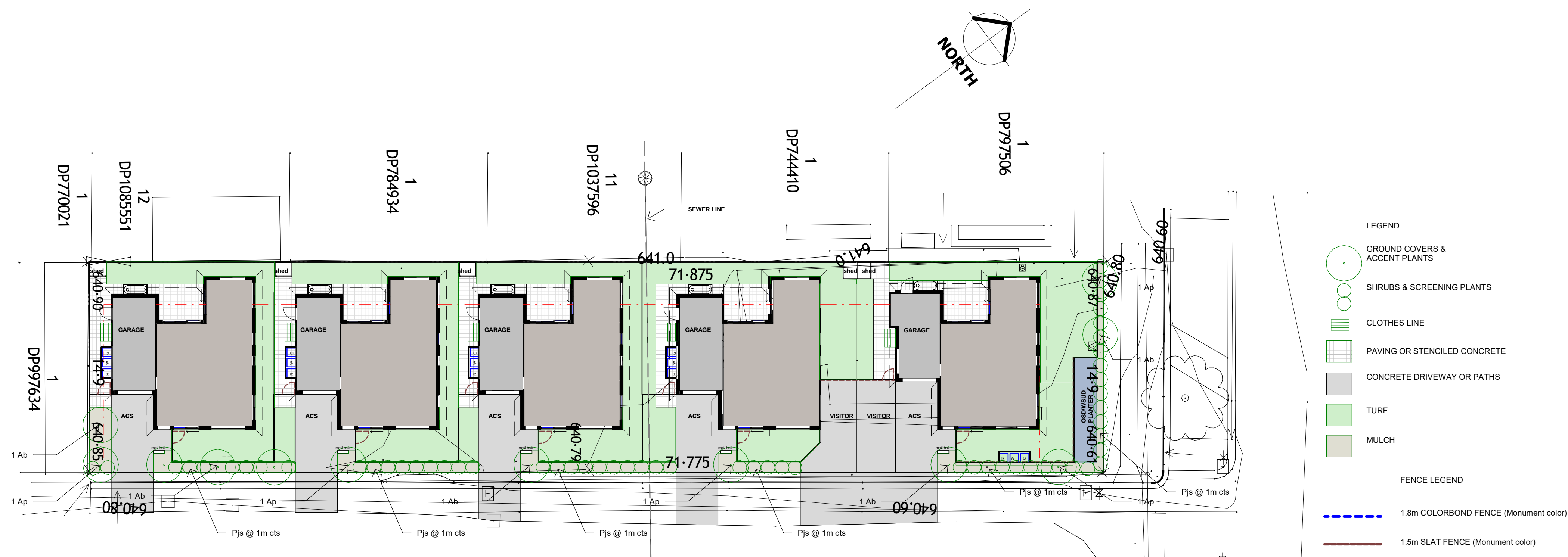


PLANT SCHEDULE

Plant Schedule Trees to be semi-mature stock

Code	Name	Common	Pot Size (mm)
Ap	<i>Acer palmatum</i> 'Sango Kaku'	Japanese Maple	140mm
Ab	<i>Acer buergerianum</i>	Trident Maple	140mm
Shrubs and Groundcovers			
Pjs	<i>Pittosporum</i> 'James Stirling'	Pittosporum	140mm

LANDSCAPE NOTES

[illegible]

LANDSCAPE PLAN

1 : 200



PROJECT:	MULTI UNIT DEVELOPMENT
ISSUE:	DEVELOPMENT APPLICATION
DRAWING TITLE:	LANDSCAPE PLAN

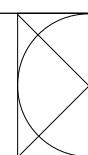
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DWG NO:	DA05.1



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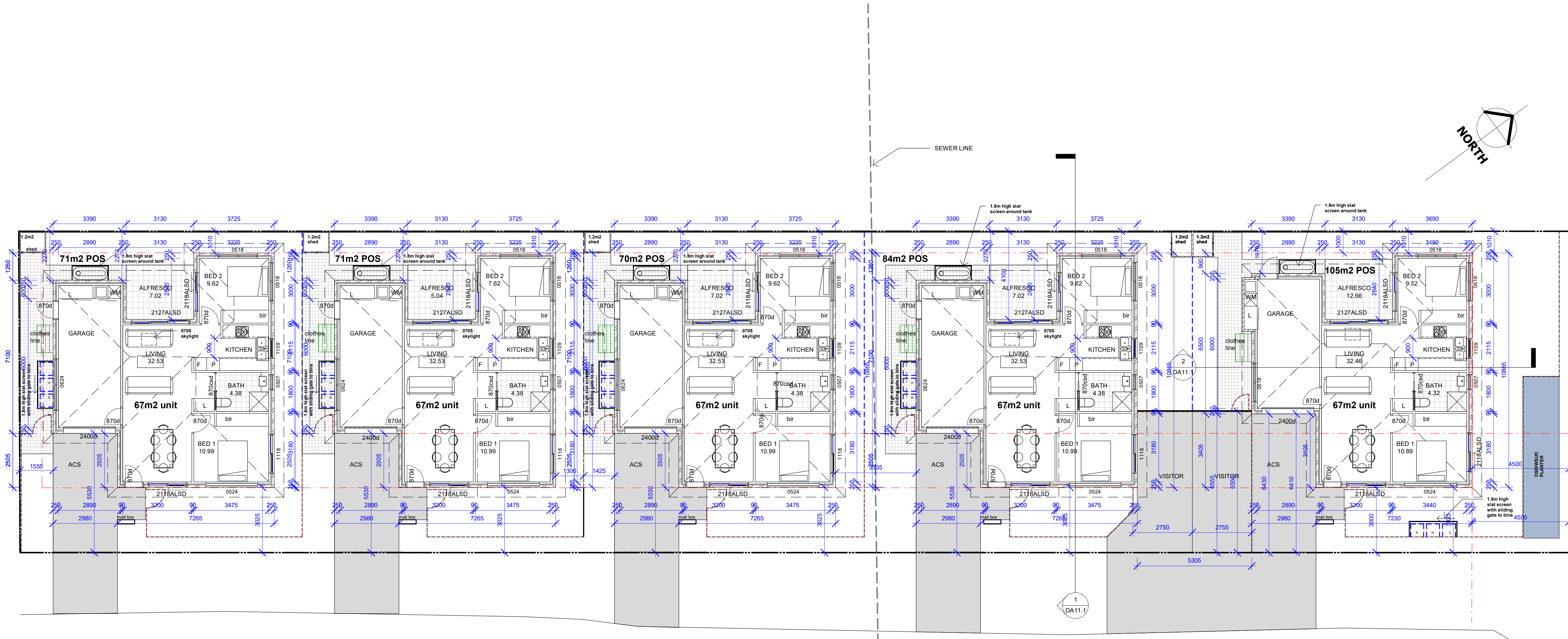
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1 GROUND FLOOR PLAN
1 : 100

FENCE LEGEND

- 1.8m COLORBOND FENCE (Monument color)
- 1.5m SLAT FENCE (Monument color)

Certificate No. 0009626886

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Assessor name Jamie Bonnefin

Accreditation No. 10056

Property Address Unit 5, 26 Lithgow Street, GOULBURN NSW, 2580

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Assessor name Jamie Bonnefin

Accreditation No. 10056

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Accreditation No. 10056

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Assessor name Jamie Bonnefin

Accreditation No. 10056

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Assessor name Jamie Bonnefin

Accreditation No. 10056

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PROJECT: MULTI UNIT DEVELOPMENT

ISSUE: DEVELOPMENT APPLICATION

DRAWING TITLE: GROUND FLOOR PLAN

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COLOUR SCHEDULE

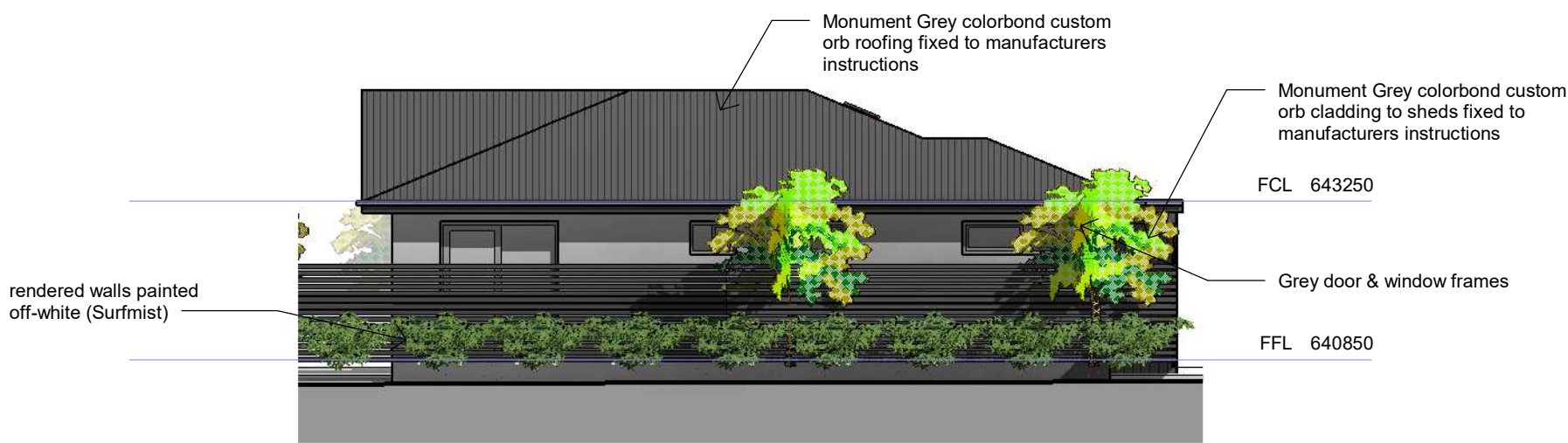
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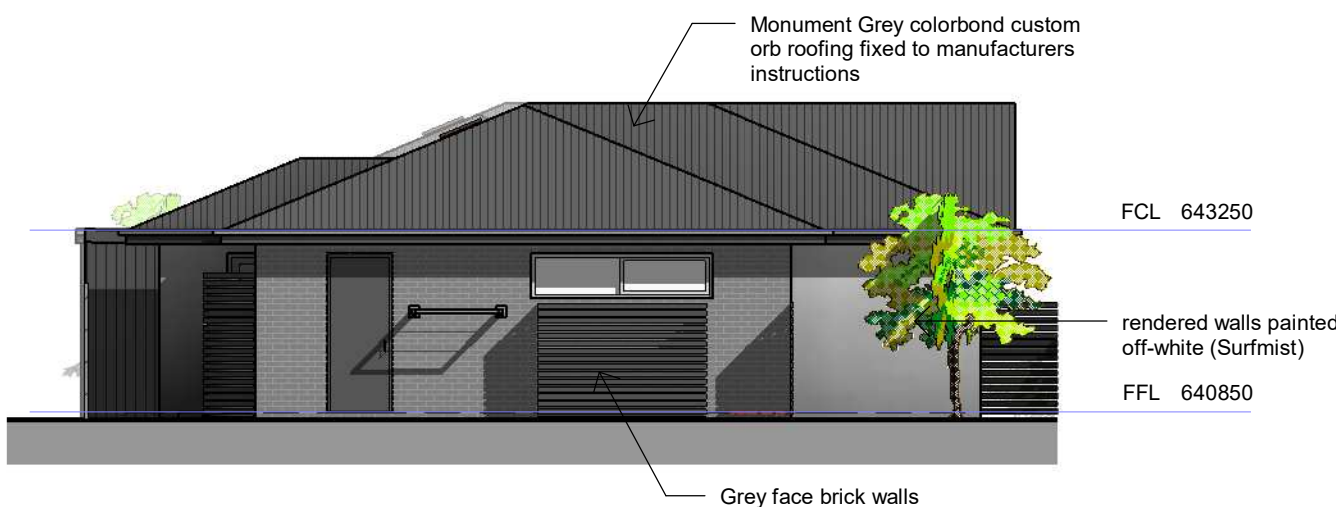
GREY FACE BRICK

MONUMENT GREY METAL ROOF/GUTTER CLADDING
MONUMENT GREY FEATURE WALL & SHED CLADDING

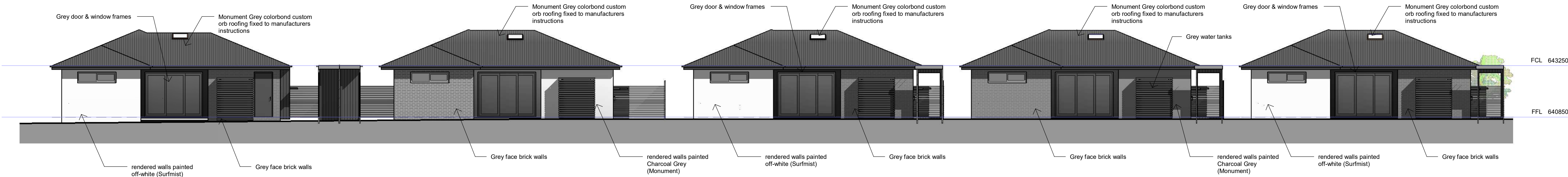
Colour Schedule



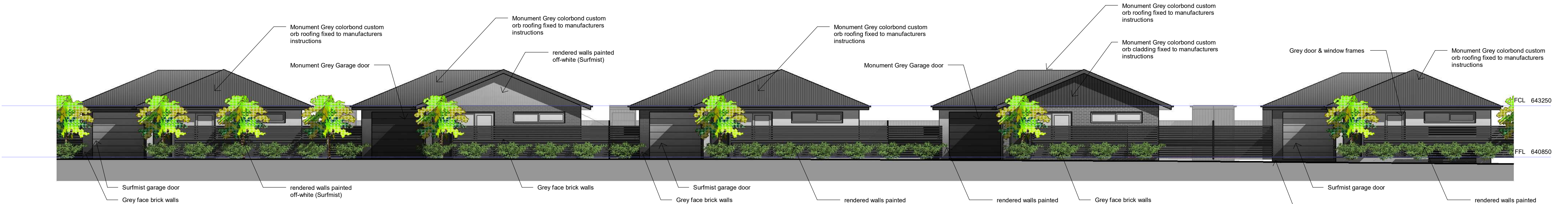
1 NORTH EAST ELEVATION
1 : 100



2 SOUTH WEST ELEVATION
1 : 100



3 NORTH WEST ELEVATION
1 : 100



4 SOUTH EAST ELEVATION
1 : 100



PROJECT: MULTI UNIT DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: ELEVATIONS

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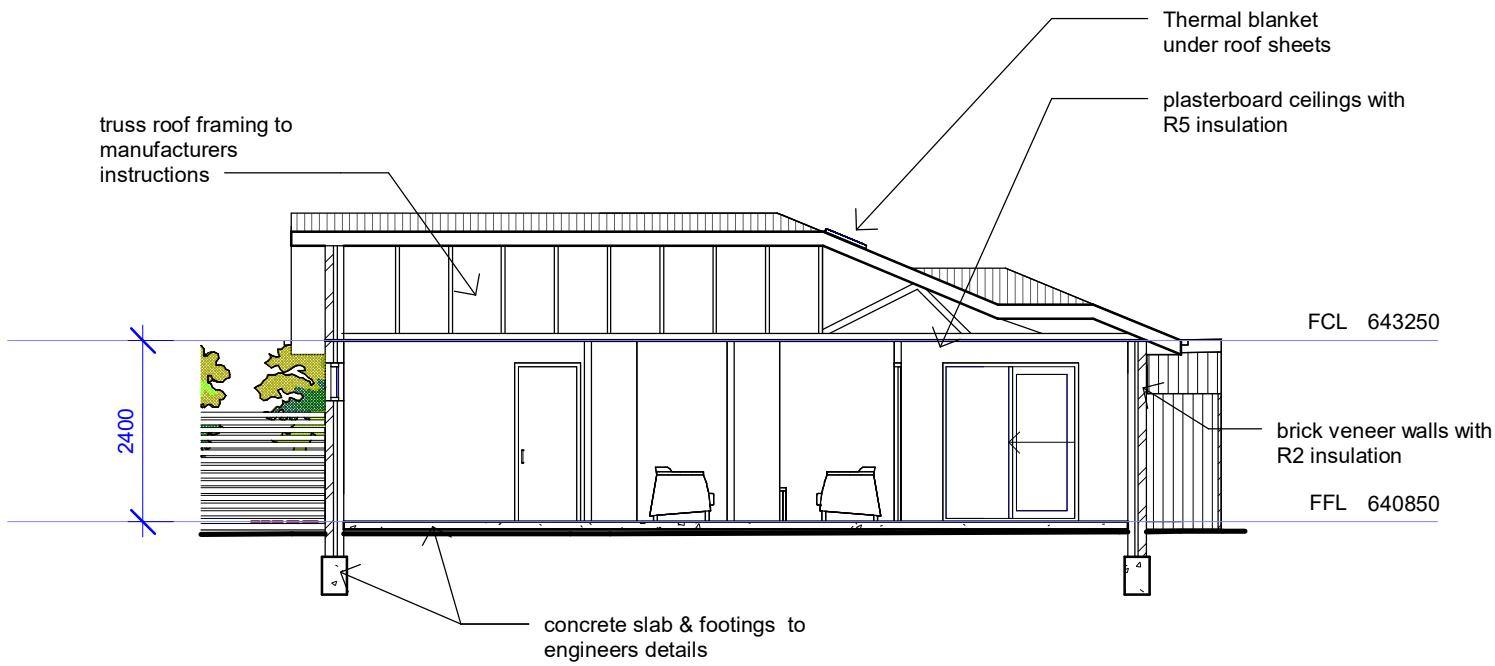
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PROJECT ADDRESS: 26 LITHGOW STREET, GOULBURN, NSW

issue date amendment

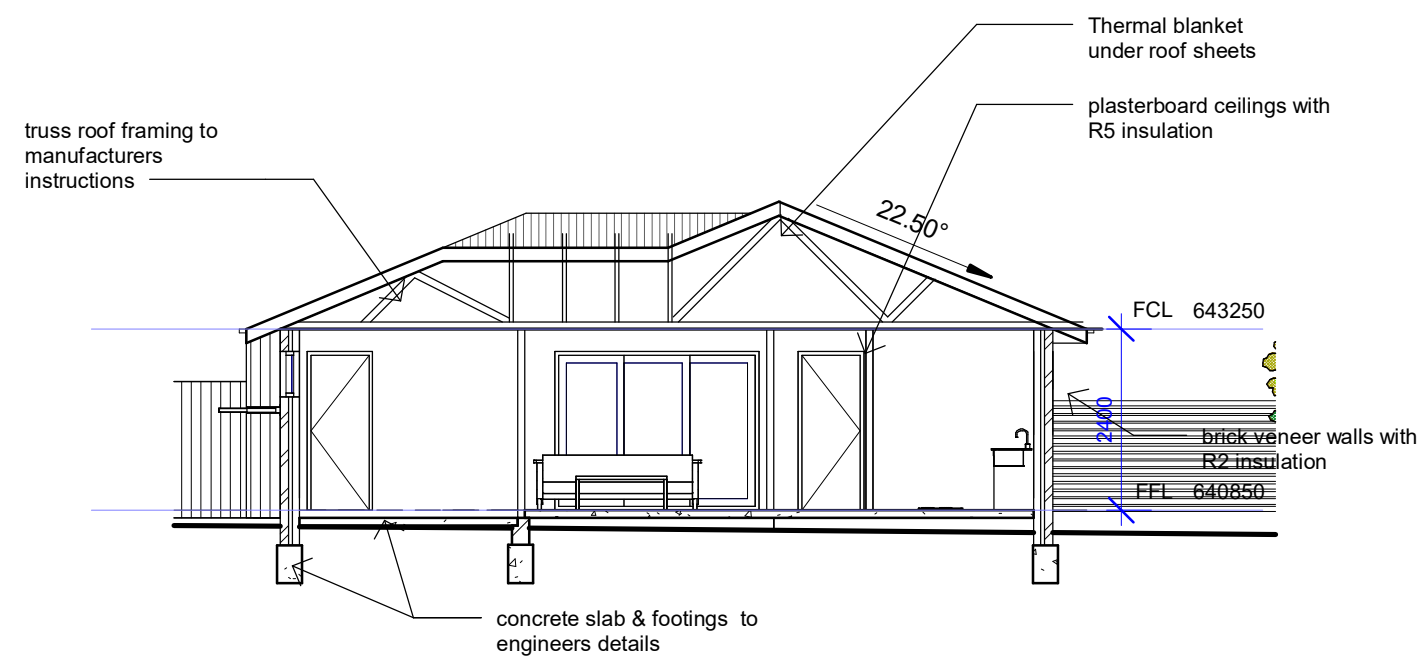
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SECTION A
1 : 100



SECTION B
1 : 100

NOTES & GENERAL CONDITIONS

ALL CONSTRUCTION IN ACCORDANCE WITH BCA AND RELEVANT SAA CODES

COMPLETE THE WORKS WITHIN THE CONTRACT PERIOD IN ACCORDANCE WITH THE DRAWINGS.

COMPLY WITH REGULATIONS AND BY-LAWS OF AUTHORITIES WITH JURISDICTION OVER THE WORKS AND INCLUDING THOSE RELATING TO WATER SUPPLY, GAS, SEWERAGE, HEALTH AND ELECTRICITY. GIVE ALL NOTICES AND PAY ALL FEES REQUIRED BY THE AUTHORITIES.

WORK SHOWN OR DESCRIBED ON THE DRAWINGS OR IN THE SCHEDULE IS TO BE CARRIED OUT WHETHER DRAWN AND NOT SPECIFIED OR VICE VERSA. THE REQUIREMENTS OF REGULATIONS TAKE PRECEDENCE OVER THE DRAWINGS. DETAIL DRAWINGS TAKE PRECEDENCE OVER GENERAL DRAWINGS.

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS, PRODUCING SHOP DRAWINGS OR FABRICATING COMPONENTS. REPORT ANY DISCREPANCIES TO ARCHITECT FOR DECISION BEFORE PROCEEDING WITH WORK.

WRITTEN DIMENSIONS ARE IN MILLIMETERS AND TAKE PRECEDENCE OVER SCALED ONES

BUILDER TO CHECK WINDOW DIMENSIONS BEFORE ORDERING

GROUND LINES SHOWN ARE INDICATIVE ONLY AND SHOULD BE VERIFIED ON SITE

LINTELS TO TRUSS MANUFACTURERS TABLES, NEW TIMBER ROOF TRUSSES TO MANUFACTURER'S SPECIFICATION.

CONCRETE SLABS AND FOOTINGS TO AS. 2870-1998 ENGINEERING OPTION ADOPTED. ALL FOOTINGS TO BE TAKEN DOWN TO SOLID GROUND. TERMITE PROTECTION TO COMPLY WITH AS. 1694 'PHYSICAL BARRIERS' & AS. 3660 'APPENDIX D' AND TO ACT BUILDING CONTROL. BUILDING NOTE NO.3, FRAMING TO AS. 1684-1992 'NATIONAL TIMBER FRAMING CODE' AND SUPPLEMENTS. HARDWOOD TO AS.3000, BRICKWORK TO AS.3700 'SAA MASONRY CODE' AND AS.1640 'SAA BRICKWORK CODE'. STRUCTURAL STEEL TO AS.1170 & AS.4100, SMOKE ALARMS TO AS.3786, WET SEAL TO AS.3740, PLUMBING TO AS3500.

STEEL FRAMED DOORS & WINDOWS TO AUSTRALIAN STANDARDS. USE STANDARD SIZED DOORS WHERE POSSIBLE

ENGINEERING DOCUMENTATION TAKES PRECEDENCE OVER ARCHITECTURAL STRUCTURAL SIZINGS.

GRADE SITES TO ALLOW FOR SURFACE DRAINAGE

SMOKE ALARMS CONNECTED TO MAINS POWER SUPPLY, WITH BATTERY BACKUP, ARE TO BE INSTALLED IN ACCORDANCE WITH AS 3786-1993

Commitments Table

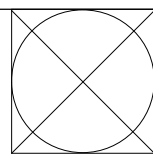
Project Details	Proposed:	Multi Dwelling	Address:	26 Lithgow Street, Goulburn NSW 2580
	Lot Number:	1	DP NUMBER:	1302794
BASIX Certificate Number: 1756731M_02				
Water	Fixtures		Specification	
	Shower head rating			3 star (> 6 but <= 7.5 L/min)
	Toilet rating			3 star
	Kitchen taps rating			3 star
	Bathroom taps rating			3 star
Alternative water details	Rainwater tank size	Individual	2000L	
	Connected to:	Garden and lawn areas	Yes	
		All toilets	Yes	
		Laundry	Yes	
Thermal Comfort	Accreditation Number:	HERA 10056	NatHERS Certificate Number: 0009626900	
	External walls		Requirements	
	Brick veneer		Medium colour R2.7	Bulk + Anti-glare foil
	Internal walls			
	Cavity wall, direct fix plasterboard	Around garage and bath	R2.7 Bulk insulation	
	Cavity wall, direct fix plasterboard		No insulation	
	Ceiling			
	External ceiling - Plasterboard		R5.0 Bulk insulation	
	Roof			
	Corrugated iron		Dark Colour (solar absorbance >0.70) R1.8 Bulk + Reflective side down, No air gap above (Anticon 75, 80mm)	
	Floors			
	Concrete slab on ground		R1.5	XPS (Extruded Polystyrene)
	Concrete slab on ground	Garage	No insulation	
	Windows		(NSW BASIX Thermal Protocol allows for ± 10% tolerance of SHGC Value & U Value =< than which overrides NatHERS Certificate)	
	Aluminium frame ALM-002-01	Garage and Bath	Single Clear glazing with U-value 6.7 and SHGC 0.7 for Group B windows (double hung, fixed, louvres and sliding type windows/doors)	
	Aluminium frame ALM-004-03		Double air-fill low-e glazing with U-value 4.3 and SHGC 0.53 for Group B windows (double hung, fixed, louvres and sliding type windows/doors)	
	Aluminium frame ALM-006-03	Dwelling 1 and 2	Double argon-fill low-e glazing with U-value 4.1 and SHGC 0.52 for Group B windows (double hung, fixed, louvres and sliding type windows/doors)	
	Skylights			
	Double Glazed Skylight			
	Ceiling Penetrations			
	Downlight Covers		Approved fireproof downlight covers must be installed to all downlights in ceilings where insulation is installed.	
	Lighting specification		Dwelling is rated with Assumed downlight as per NatHERS Tech Note "Ceiling Penetrations 9.4 to 9.8"	
	Ceiling fans		No ceiling fans need to be installed	
Overshadowing details		Adjoining units calculated into model calculations		
Site				
Orientation of nominal north elevation		As shown on plans		
* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry's) at the rate of 0.04 meters squared per exhaust fan penetration.				
Energy	Hot water		Specification	Rating
	Individual system		Gas instantaneous	7 star
	Ventilation			
	Bathroom exhaust		Individual fan, not ducted	
	Control switch		Manual switch on/off	
	Kitchen exhaust		Individual fan, not ducted	
	Control switch		Manual switch on/off	
	Laundry		Individual fan, not ducted	
	Control switch		Manual switch on/off	
	Cooling			
	Individual systems - living areas		1-phase airconditioning	EER > 4.0
	Individual systems - bedroom areas		1-phase airconditioning	EER > 4.0
	Heating			
	Individual systems - living areas		1-phase airconditioning	EER > 4.0
	Individual systems - bedroom areas		1-phase airconditioning	EER > 4.0
	Lighting			
	Refer to NatHERS Certificate		Light-emitting diode (LED)	
	Appliances			
	Cooktop/oven		Gas cooktop & electric oven	
Private outdoor clothes drying line		Yes		
Private Indoor or sheltered clothes drying line		No		
Alternative Energy		Peak kW		
Photovoltaic System (Minimum)		N/A		

PROJECT: MULTI UNIT DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: SECTIONS

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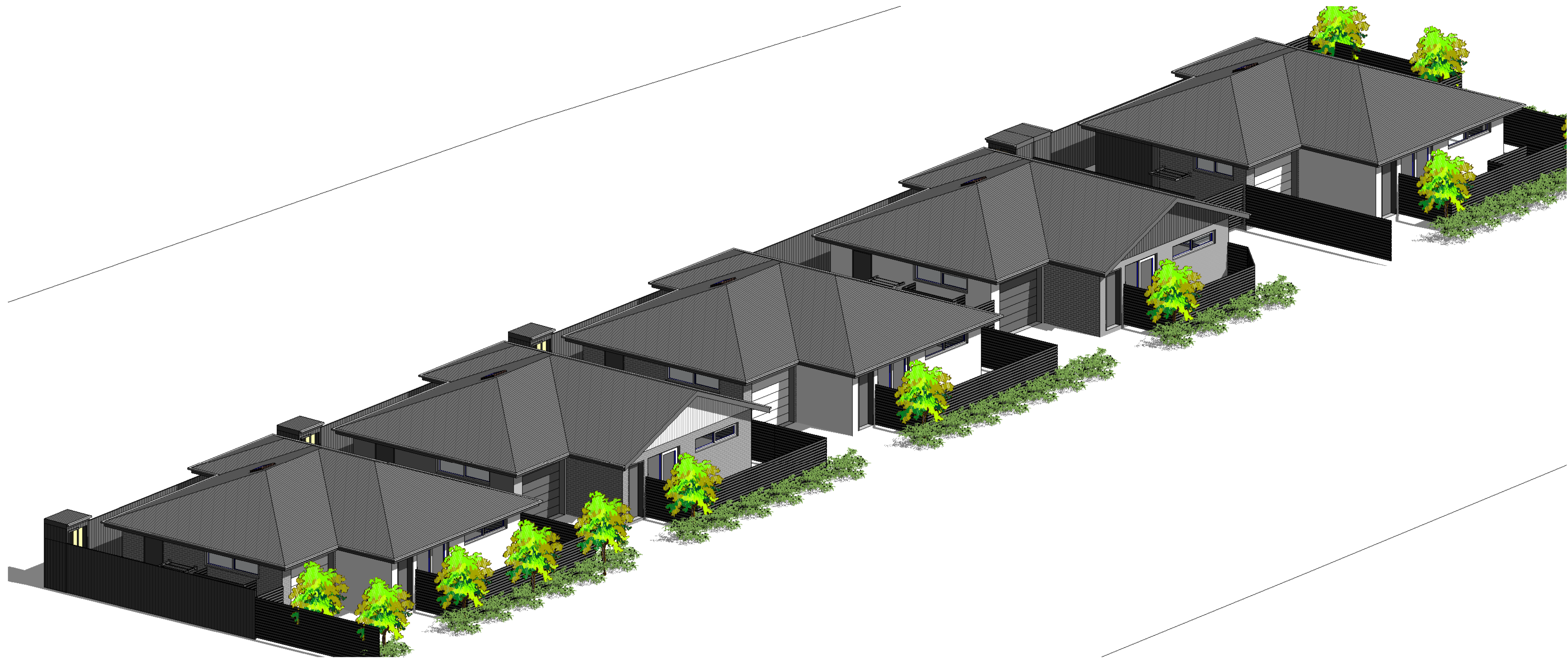
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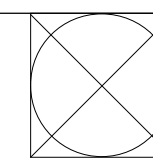


PROJECT: **MULTI UNIT DEVELOPMENT**
ISSUE: **DEVELOPMENT APPLICATION**
DRAWING TITLE: **ISO VIEWS**

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PROJECT ADDRESS: **26 LITHGOW STREET, GOULBURN, NSW**

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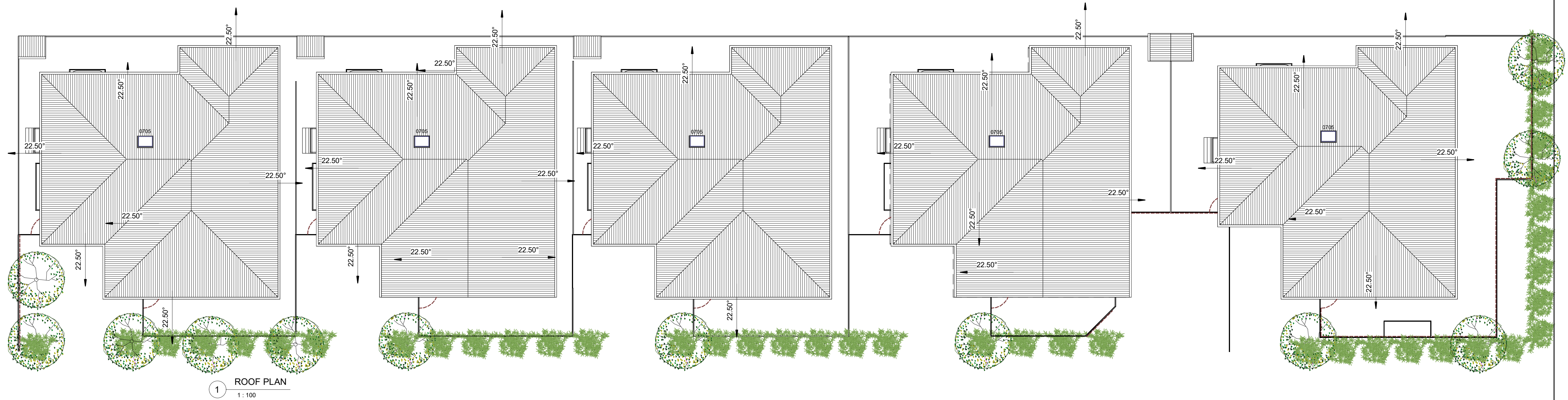


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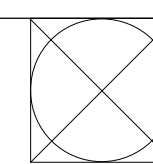


PROJECT: MULTI UNIT DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: ROOF PLAN

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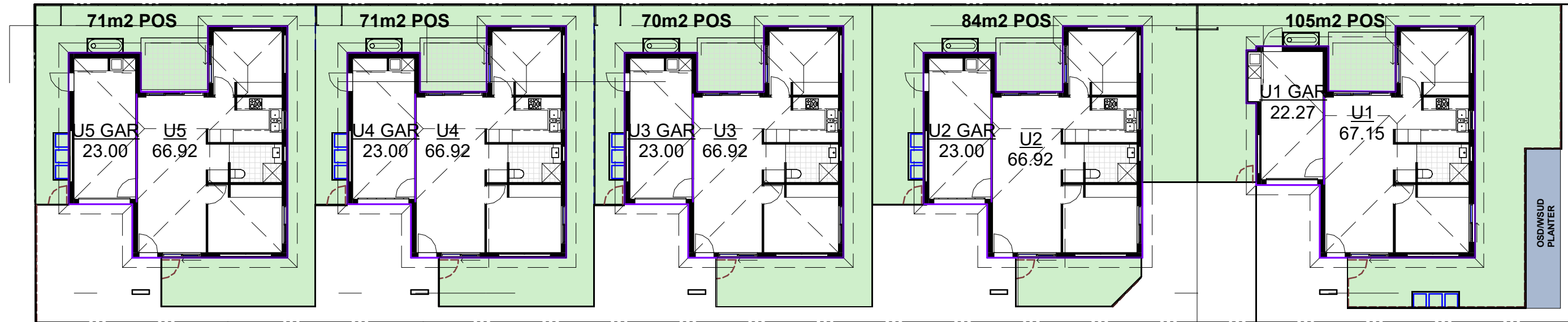
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SITE AREA = 1070m2

Area Schedule (Gross Building)		
Name		Area
U1		67.15
U1 GAR		22.27
U2		66.92
U2 GAR		23.00
U3		66.92
U3 GAR		23.00
U4		66.92
U4 GAR		23.00
U5		66.92
U5 GAR		23.00
Grand total: 10		449.12



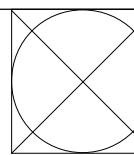
1 FFL
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PROJECT: MULTI UNIT DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: AREA PLANS

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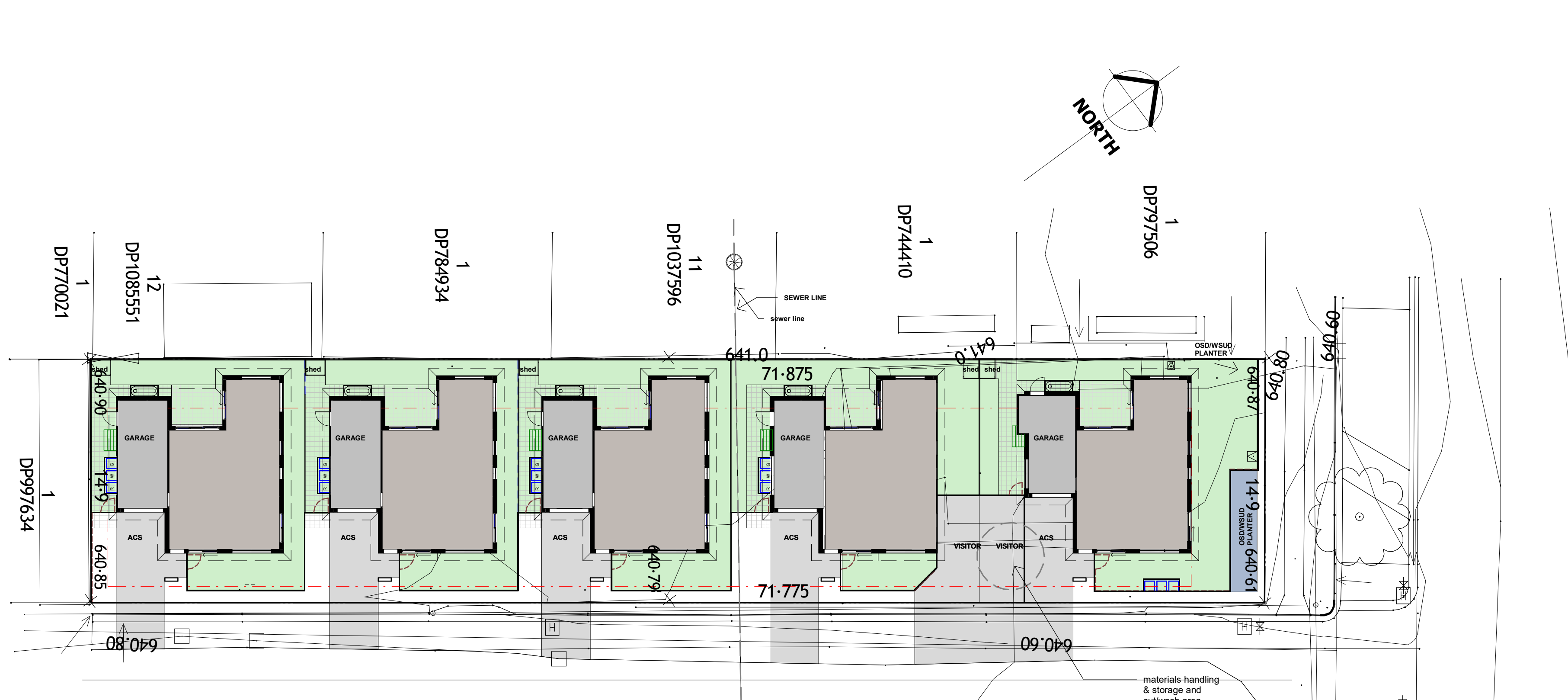


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- SEDIMENT CONTROL NOTES
1. Provide Sediment and erosion control barriers as shown.
 2. Stock pile/s to be located away from drainage lines and surface flow paths, contoured striations or furrows to be provided to stock piles to minimize erosion.
 3. Stabilised construction entrance to be constructed prior to access to site by construction vehicles. Aggregate to be turned when sediment builds up.
 4. Where storm water drainage is installed to internal roadwork's, provide grated sump filter in accordance with given detail.
 5. Average existing site slope is : Less than 5% - sediment control barrier not required
 6. Total site area is : 1070 m²
 7. Builder is to establish a maintenance program for sediment & Erosion control devices to ensure inspection after significant rainfall and that any repairs necessary are quickly attended to.
 8. Environment protection agreement to be taken out by building contractor with Environment Protection Authority. .
 9. All new construction work must be contained within the site except for approved service connections and roadwork's or noted explicitly on documentation.
 10. Limit access to site during and immediately after wet weather.
 11. Regularly remove any soil from roads adjacent to the site.
 12. No storage or construction materials, parking of vehicles nor equipment permitted outside of blocks without Authority approval.
 13. No site sheds, storage sheds, site amenities to be erected outside of blocks without Authority approval.
 14. Provide kerbside filter roll to existing sumps.
 15. Kerbside filter rolls to be removed, cleaned and reinstated on a weekly basis at a minimum. Trapped sediment about sumps also to be removed, cleaning is also to take place immediately after periods of rainfall during construction.
 16. All service trenches to be back filled within 24 hours of inspection.
 17. Excess soil is to be disposed at an approved location.

1 SEDIMENT & EROSION CONTROL PLAN
1 : 200

